

**Drain:** SPRINGMILL VILLAGES DRAIN      **Drain #:** 268  
**Improvement/Arm:** SPRINGDALE FARMS - SECTION 2  
**Operator:** JOH      **Date:** 5-19-04  
**Drain Classification:** Urban/Rural      **Year Installed:** 1996

### GIS Drain Input Checklist

- Pull Source Documents for Scanning JM
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JM
- Digitize & Attribute SSD JM
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JM
- Sum drain lengths & Validate JM
- Enter Improvements into Posse JM
- Enter Drain Age into Posse JM
- Sum drain length for Watershed in Posse JM
- Check Database entries for errors JM





SURVEYOR'S OFFICE

# Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

August 19, 1996

TO: HAMILTON COUNTY DRAINAGE BOARD

RE: Springmill Villages Drain-  
Springdale Farms, Section 2 Arm

Attached is a petition, plans, non-enforcement request, calculations, quantity summary and assessment roll for the Section 2 Arm Springdale Farms, Springmill Villages Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	3,741 feet	21" RCP	<sup>322</sup> <del>170</del> feet
12" RCP	805 feet	24" RCP	454 feet
15" RCP	187 feet	30" RCP	356 feet
18" RCP	170 feet	36" RCP	94 feet

The total length of the drain will be 6,129 feet.

The retention pond (lake) located at the rear of Lot 78 is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or rear yards. Only the main SSD lines which are located within the Easement/Right of Way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Rear Lots 68,69,70; 55-62; 50,51; 86-89.

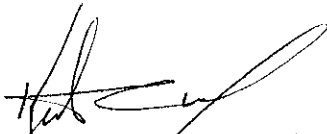
I have reviewed the plans and believe the drain will benefit each lot equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$30.00 per lot, \$5.00 per acre for roadways, with a \$30.00 minimum. With this assessment the total annual assessment for this section will be \$ 1691.80.

Parcels assessed for this drain may be assessed for the Overman-Harvey (Village Farms) Drain at sometime in the future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain the Board also approved the non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Springdale Farms-Section 2, as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 1996.



Kenton C. Ward  
Hamilton County Surveyor  
KCW/no



IRREVOCABLE LETTER OF CREDIT NO. 00037600



BOARD OF HAMILTON COUNTY  
COMMISSIONERS  
HAMILTON COUNTY, INDIANA  
ONE HAMILTON COUNTY SQUARE  
NOBLESVILLE, IN 46060

GENTLEMEN:

WE HEREBY ESTABLISH OUR IRREVOCABLE STANDBY LETTER OF CREDIT NO. 00037600 IN YOUR FAVOR, AT THE REQUEST OF AND FOR THE ACCOUNT OF GENE B. GLICK AND SPRINGDALE FARMS, LLC, AN INDIANA LIMITED LIABILITY COMPANY, PO BOX 40177, INDIANAPOLIS, IN 46240 (THE "DEVELOPER"), FOR ANY SUM OR SUMS NOT EXCEEDING \$12,000.00 AVAILABLE UPON PRESENTATION OF THE FOLLOWING:

A STATEMENT ISSUED AND PURPORTEDLY SIGNED BY THE BOARD OF HAMILTON COUNTY COMMISSIONERS READING AS FOLLOWS:

" ANY AND ALL IMPROVEMENTS HAVE NOT BEEN COMPLETED BY DEVELOPER IN CONNECTION WITH EROSION CONTROL IN SPRINGDALE FARMS, SECTION 2 WESTFIELD PLAT DOCKET NO. 94-P-23, AS REQUIRED BY THE HAMILTON COUNTY SURVEYOR'S OFFICE."

THE DRAFTS DRAWN UNDER THIS LETTER OF CREDIT, MUST STATE "DRAWN UNDER LETTER OF CREDIT NO. 00037600 OF NBD BANK, N.A., INDIANAPOLIS, INDIANA, DATED JULY 9, 1996 ."

THE AMOUNTS OF THE DRAFTS MUST BE NOTED ON THE BACK OF THIS LETTER OF CREDIT BY THE NEGOTIATING BANK AND/OR AGENCY.

THIS LETTER OF CREDIT IS EFFECTIVE AS OF JULY 10, 1996 AND SHALL EXPIRE ON JULY-9, 1997, BUT SUCH EXPIRATION DATE SHALL BE AUTOMATICALLY EXTENDED FOR A PERIOD OF ONE YEAR ON EACH SUCCESSIVE EXPIRATION DATE, UNLESS A RELEASE IS RECEIVED FROM THE BOARD OF HAMILTON COUNTY COMMISSIONERS OR WE NOTIFY BOTH THE BOARD OF HAMILTON COUNTY COMMISSIONERS AND THE DEVELOPER BY CERTIFIED MAIL, AT LEAST NINETY (90) DAYS BEFORE THE CURRENT EXPIRATION DATE, THAT WE HAVE DECIDED NOT TO EXTEND THIS LETTER OF CREDIT BEYOND THE CURRENT EXPIRATION DATE. IN THE EVENT OF SUCH NOTIFICATION BY US, THE CREDIT ESTABLISHED BY THIS LETTER SHALL BE AVAILABLE TO THE BOARD OF HAMILTON COUNTY COMMISSIONERS UPON ITS SIGHT DRAFT OR DEMAND FOR PAYMENT FOR NINETY (90) DAYS AFTER RECEIPT OF SUCH NOTICE BY THE DATE AS SHOWN ON THE SIGNED RETURN RECEIPT.

FILED

JUL 15 1996

OFFICE OF HAMILTON COUNTY SURVEYOR

~~ORIGINAL~~

NBD Bank, N.A.  
c/o The First National Bank of Chicago  
Global Trade Services, Mail Suite 0742  
Chicago, Illinois 60670-0742 U.S.A.

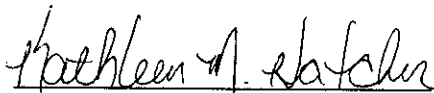
Telex: MCI205615  
Tel: (312) 407-3843

Swift Address: NBDDUS44

THE CREDIT ESTABLISHED BY THIS LETTER AND OUR OBLIGATION TO PAY SAME SHALL NOT BE AFFECTED BY THE RECEIVERSHIP, BANKRUPTCY OR INSOLVENCY OF THE DEVELOPER OR THE ATTACHMENT OF ITS PROPERTY. NOR SHALL THIS CREDIT OR OUR OBLIGATION TO PAY SAME BE AFFECTED BY ANY SECURITY AGREEMENT BETWEEN THE DEVELOPER AND OURSELVES.

WHENEVER THIS LETTER OF CREDIT IS DRAWN ON UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT, WE SHALL PAY THE AMOUNT OF THE DRAFT DIRECTLY TO THE BOARD OF HAMILTON COUNTY COMMISSIONERS OR IN ACCORDANCE WITH ITS INSTRUCTIONS.

SINCERELY,  
NBD BANK, N.A.

  
AUTHORIZED SIGNATURE

  
AUTHORIZED SIGNATURE

IRREVOCABLE LETTER OF CREDIT NO. 00037598



BOARD OF HAMILTON COUNTY  
COMMISSIONERS  
HAMILTON COUNTY, INDIANA  
ONE HAMILTON COUNTY SQUARE  
NOBLESVILLE, IN 46060

GENTLEMEN:

WE HEREBY ESTABLISH OUR IRREVOCABLE STANDBY LETTER OF CREDIT NO. 00037598 IN YOUR FAVOR, AT THE REQUEST OF AND FOR THE ACCOUNT OF GENE B. GLICK AND SPRINGDALE FARMS, LLC, AN INDIANA LIMITED LIABILITY COMPANY, PO BOX 40177, INDIANAPOLIS, IN 46240 (THE "DEVELOPER"), FOR ANY SUM OR SUMS NOT EXCEEDING \$102,057.00 AVAILABLE UPON PRESENTATION OF THE FOLLOWING:

A STATEMENT ISSUED AND PURPORTEDLY SIGNED BY THE BOARD OF HAMILTON COUNTY COMMISSIONERS READING AS FOLLOWS:

" ANY AND ALL IMPROVEMENTS HAVE NOT BEEN COMPLETED BY DEVELOPER IN CONNECTION WITH THE STORM SEWERS AND SUBSURFACE DRAINS IN SPRINGDALE FARMS, SECTION 2, WESTFIELD PLAT DOCKET NO. 94-P-23, AS REQUIRED BY THE HAMILTON COUNTY SURVEYOR'S OFFICE."

THE DRAFTS DRAWN UNDER THIS LETTER OF CREDIT, MUST STATE "DRAWN UNDER LETTER OF CREDIT NO. 00037598 OF NBD BANK, N.A., INDIANAPOLIS, INDIANA, DATED JULY 9, 1996 ."

THE AMOUNTS OF THE DRAFTS MUST BE NOTED ON THE BACK OF THIS LETTER OF CREDIT BY THE NEGOTIATING BANK AND/OR AGENCY.

THIS LETTER OF CREDIT IS EFFECTIVE AS OF JULY 10, 1996 AND SHALL EXPIRE ON JULY 9, 1997, BUT SUCH EXPIRATION DATE SHALL BE AUTOMATICALLY EXTENDED FOR A PERIOD OF ONE YEAR ON EACH SUCCESSIVE EXPIRATION DATE, UNLESS A RELEASE IS RECEIVED FROM THE BOARD OF HAMILTON COUNTY COMMISSIONERS OR WE NOTIFY BOTH THE BOARD OF HAMILTON COUNTY COMMISSIONERS AND THE DEVELOPER BY CERTIFIED MAIL, AT LEAST NINETY (90) DAYS BEFORE THE CURRENT EXPIRATION DATE, THAT WE HAVE DECIDED NOT TO EXTEND THIS LETTER OF CREDIT BEYOND THE CURRENT EXPIRATION DATE. IN THE EVENT OF SUCH NOTIFICATION BY US, THE CREDIT ESTABLISHED BY THIS LETTER SHALL BE AVAILABLE TO THE BOARD OF HAMILTON COUNTY COMMISSIONERS UPON ITS SIGHT DRAFT OR DEMAND FOR PAYMENT FOR NINETY (90) DAYS AFTER RECEIPT OF SUCH NOTICE BY THE DATE AS SHOWN ON THE SIGNED RETURN RECEIPT.

**FILED**

JUL 15 1996

OFFICE OF HAMILTON COUNTY SURVEYOR

NBD Bank, N.A.  
c/o The First National Bank of Chicago  
Global Trade Services, Mail Suite 0742  
Chicago, Illinois 60670-0742 U.S.A.

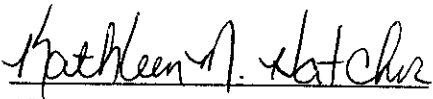
Telex: MCI205615  
Tel: (312) 407-3843

Swift Address: NBDDUS44

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WHENEVER THIS LETTER OF CREDIT IS DRAWN ON UNDER AND IN COMPLIANCE WITH THE TERMS OF THIS LETTER OF CREDIT, WE SHALL PAY THE AMOUNT OF THE DRAFT DIRECTLY TO THE BOARD OF HAMILTON COUNTY COMMISSIONERS OR IN ACCORDANCE WITH ITS INSTRUCTIONS.

SINCERELY,  
NBD BANK, N.A.

  
AUTHORIZED SIGNATURE

  
AUTHORIZED SIGNATURE

**FILED**

OCT 30 1998

OFFICE OF HAMILTON COUNTY SURVEYOR

**CERTIFICATE OF COMPLETION AND COMPLIANCE**

TO: HAMILTON COUNTY SURVEYOR

RE: Springdale Farms Section 2

I hereby certify that:

- 1.) I am a Registered Land Surveyor in the State of Indiana,
- 2.) I am familiar with the plans and specifications for the above referenced subdivision,
- 3.) I have personally observed and supervised the completion of the Drainage Facilities for the above referenced subdivision, and
- 4.) To the best of my knowledge, information and belief, the Drainage Facilities within the subdivision has been installed and completed in conformity with all plans and specifications.

Signature: *Christopher R. White* Date: 10-27-98

Type or Printed Name: Christopher R. White

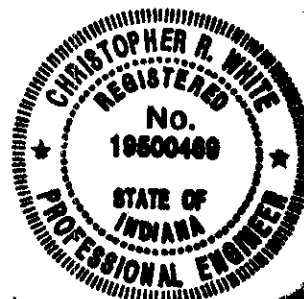
Business Address: Davis Homes, LLC,

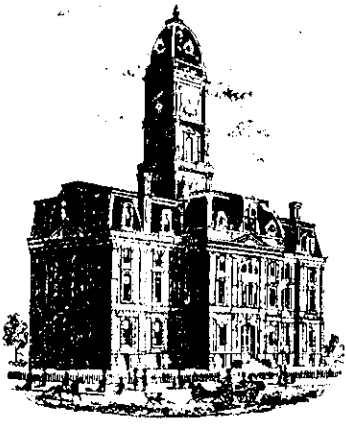
3755 East 82nd Street, Suite 120, Indianapolis, IN 46240

Telephone: 595-2903

INDIANA REGISTERED NUMBER

<sup>4</sup>  
1950069





SURVEYOR'S OFFICE

# Hamilton County

*Kenton C. Ward, Surveyor*

*Phone (317) 776-8495*

*Fax (317) 776-9628*

*Suite 146*

*One Hamilton County Square*

*Noblesville, Indiana 46060-2230*

To: Hamilton County Drainage Board

December 15, 1998

**Re: Springmill Villages Drain: Springdale Farms Sec.2**

Attached are as-builts, certificate of completion & compliance, and other information for Springdale Farms Sec.2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated August 19, 1996. The changes are as follows:

**Structure:            T.C.:    I.E.:    Pipe:    Length: Original Plans:    Difference:**

744		900.45					
743	902.8	899.88	12	191		190	1
743	902.8	899.87					
742	903.4	899.53	21	99		106	-7
742	903.4	899.5					
741	903.1	899.2	21	109		108	1
741	903.1	899.2					
740	902.4	899.07	21	110		108	2
740	902.4	899.07					
739	902.3	898.05	24	324		322	2
739	902.3	898.05					
738	901.7	897.42	24	132			
738	901.7	897.42					
737	901.27	897.31	30	108			
737	901.27	897.31					
736	901	896.7	30	250		248	
736	901	896.69					
735		896.59	36	95		94	1
752		899.11					
751	901.79	898.5	12	157		158	-1

751	901.79	898.5				
750	901.79	898.5	15	30		
750	901.79	898.48				
739	902.3	898.05	15	23	22	1
748	901.68	899.42				
747	901.78	899.38	12	30		
747	901.78	899.38				
740	902.4	899.21	15	19		
749	901.6	899.89				
740	902.4	899.07	12	160	168	-8
746	902.74	900.09				
745	902.74	899.9	12	30		
745	902.74	899.9				
743	902.8	899.97	15	22		
760	902.74	900.37				
759	902.74	900.26	12	30		
759	902.74	900.17				
706	see sec. 1	900.12	15	15	22	-7
758		902.17				
757	904.3	901.71	12	121	124	-3
757	904.3	901.71				
756	904.15	901.59	12	35		
756	904.15	901.59				
755	904.19	901.55	15	30		
755	904.19	901.45				
707	see sec. 1	901.01	18	170		

**6" SSD Streets:**

Woodsage Ct.	450
Blueflag Ct.	145
Stargrass Dr.	1740
x2	2335

Total: 4670

**6" SSD Lots:**

68-70	removed
55-62	removed
50-51	removed
86-89	150

Total: 150

The length of the drain due to the changes described above is now <sup>2,110</sup>~~2,192~~ feet.

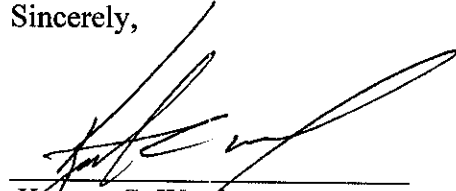
The non-enforcement was approved by the Board at its meeting on September 23, 1996 and recorded under instrument #9609654251.

The bond or letter of credit from NBD, number 00037601, 00037600, 00037598; dated July 9, 1996; in the amount of \$3,300.00 for monumentation, \$12,000.00 for erosion control, \$102,057.00 for storm sewers; was released November 23, 1998.

The 6"ssd in the rear of lots 68-70, 55-62, 50-51, was omitted due to design and instillation conflicts.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,

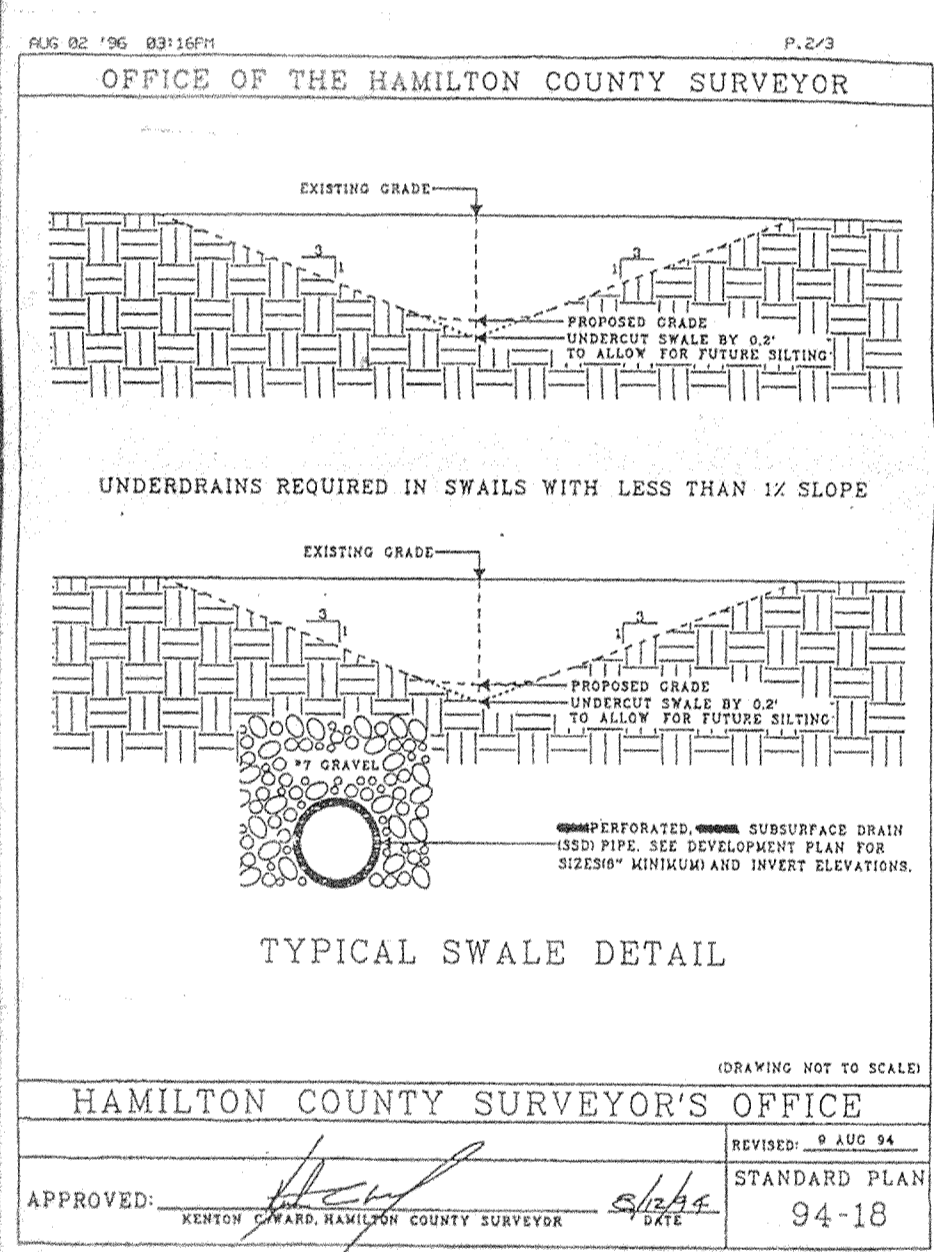
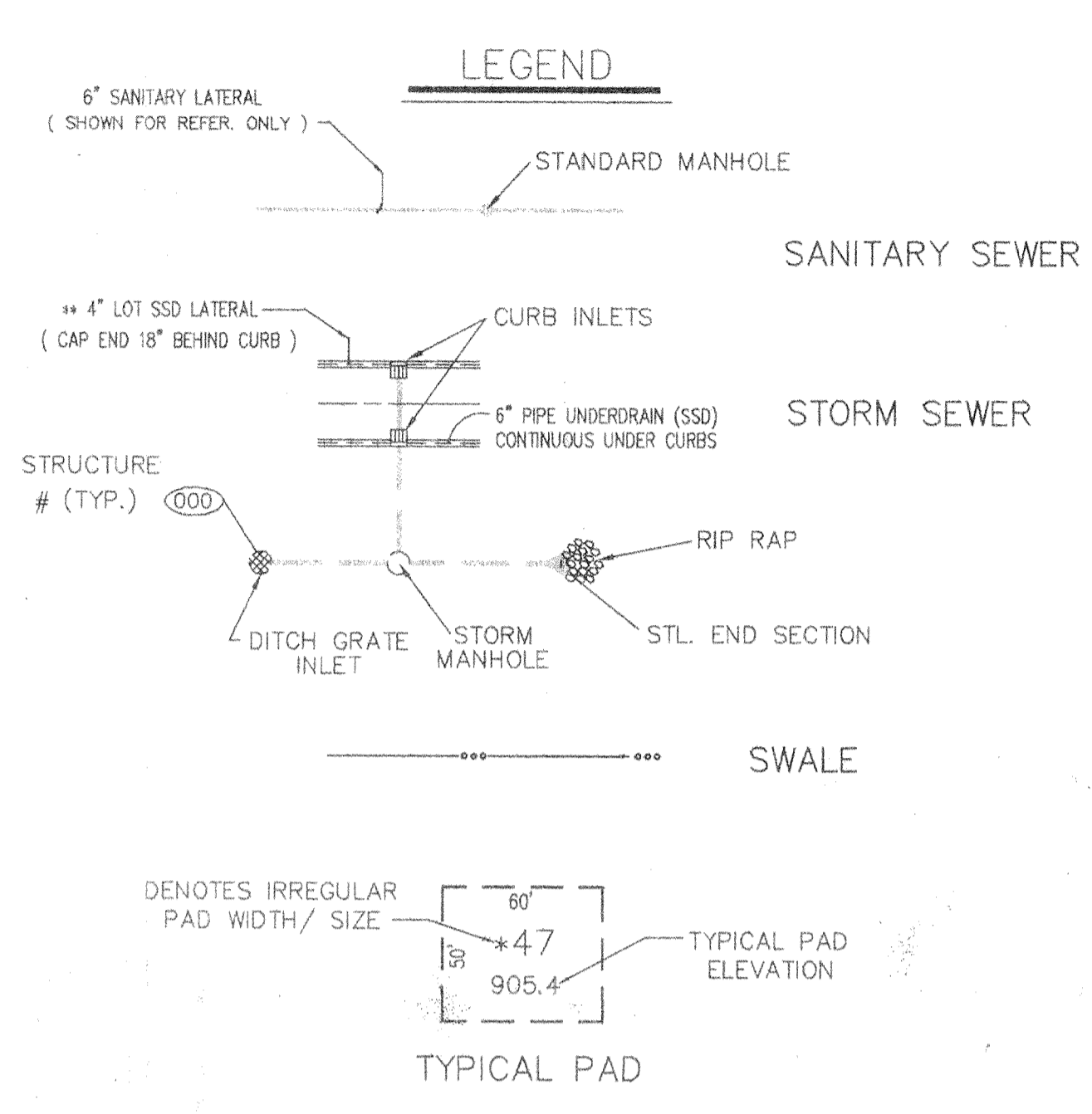
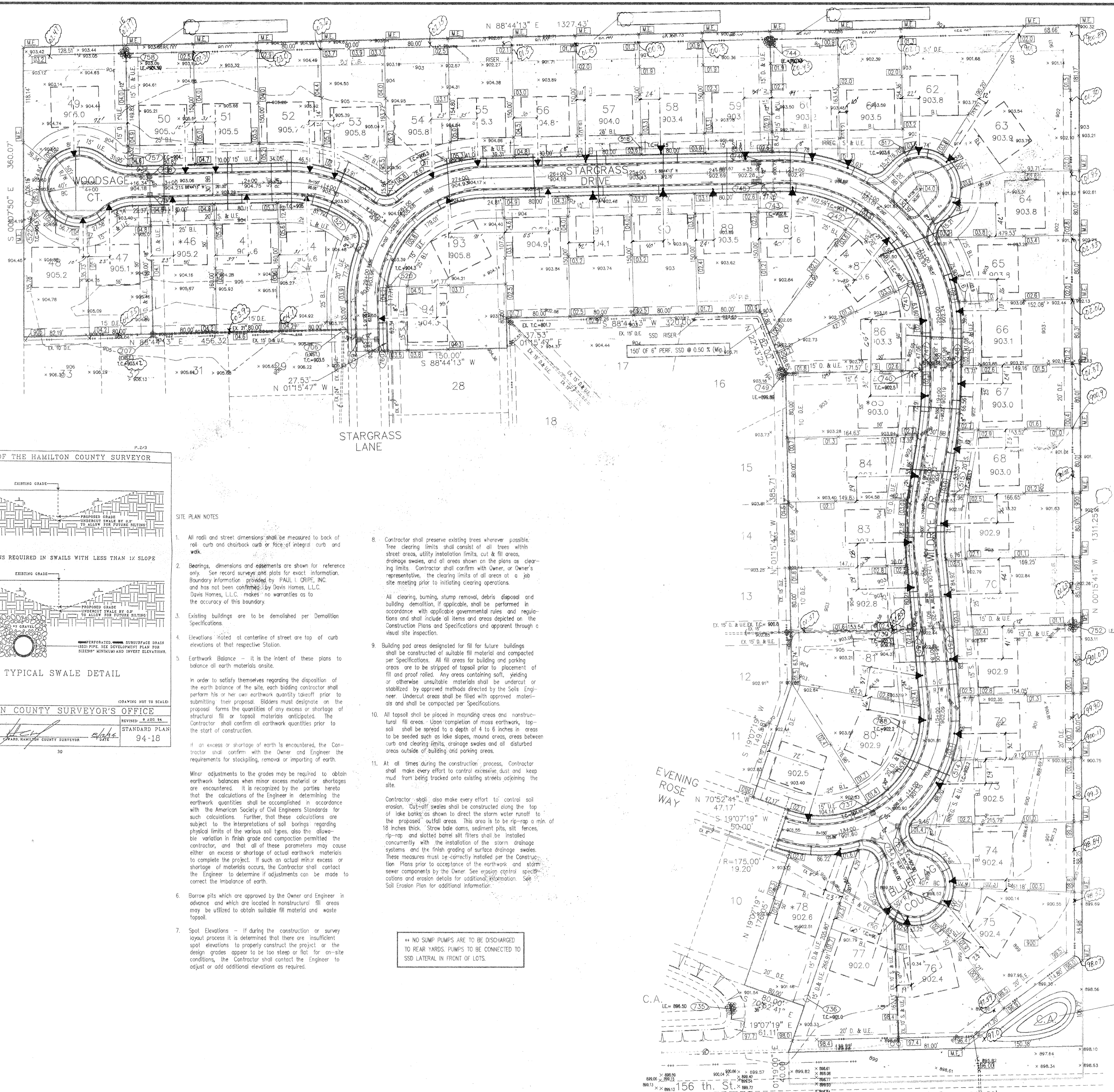


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Kenton C. Ward,  
Hamilton County Surveyor

KCW/slm





**SITE PLAN NOTES**

- All radii and street dimensions shall be measured to back of curb and chairback curb or face of integral curb and work.
- Bearings, dimensions and easements are shown for reference only. See record surveys and plats for exact information. Boundary information provided by PAUL I. CORP, INC. and has not been confirmed by Davis Homes, L.L.C. Davis Homes, L.L.C. makes no warranties as to the accuracy of this boundary.
- Existing buildings are to be demolished per Demolition Specifications.
- Elevations noted at centerline of street are top of curb elevations at that respective Station.
- Earthwork Balance - It is the intent of these plans to balance all earth materials onsite.

In order to satisfy themselves regarding the disposition of the earth balance of the site, each bidding contractor shall perform his or her own earthwork quantity takeoff prior to submitting their proposal. Bidders must designate on the proposal forms the quantities of any excess or shortage of structural fill or topsoil materials anticipated. The Contractor shall confirm all earthwork quantities prior to the start of construction.

If an excess or shortage of earth is encountered, the Contractor shall confirm with the Owner and Engineer the requirements for stockpiling, removal or importing of earth.

Minor adjustments to the grades may be required to obtain earthwork balances when minor excess material or shortages are encountered. It is recognized by the parties hereto that the calculations of the Engineer in determining the earthwork quantities shall be accomplished in accordance with the American Society of Civil Engineers Standards for such calculations. Further, that these calculations are subject to the interpretations of soil borings regarding physical limits of the various soil types, also the allowable variation in finish grade and compaction permitted the contractor, and that all of these parameters may cause either an excess or shortage of actual earthwork materials to complete the project. If such an actual minor excess or shortage of materials occurs, the Contractor shall contact the Engineer to determine if adjustments can be made to correct the imbalance of earth.

- Borrow pits which are approved by the Owner and Engineer in advance and which are located in nonstructural fill areas may be utilized to obtain suitable fill material and waste topsoil.
- Spot Elevations - If during the construction or survey layout process it is determined that there are insufficient spot elevations to properly construct the project or the design grades appear to be too steep or flat for on-site conditions, the Contractor shall contact the Engineer to adjust or add additional elevations as required.

- Contractor shall preserve existing trees wherever possible. Tree clearing limits shall consist of all trees within street areas, utility installation limits, cut & fill areas, storage areas, and all areas shown on the plans as clearing limits. Contractor shall confirm with Owner, or Owner's representative, the clearing limits of all areas at a job site meeting prior to initiating clearing operations.
- All clearing, burning, stump removal, debris disposal and building demolition, if applicable, shall be performed in accordance with applicable governmental rules and regulations and shall include all items and areas depicted on the Construction Plans and Specifications and apparent through a visual site inspection.
- Building pad areas designed for fill for future buildings shall be constructed of suitable fill material and compacted per Specifications. All fill areas for building and parking areas are to be stripped of topsoil prior to placement of fill and proof rolled. Any areas containing soft, yielding or otherwise unsuitable materials shall be undercut or stabilized by approved methods directed by the Soil Engineer. Undercut areas shall be filled with approved materials and shall be compacted per Specifications.
- All topsoil shall be placed in mounding areas and non-structural fill areas. Upon completion of mass earthwork, topsoil shall be spread to a depth of 4 to 6 inches in areas to be seeded such as lake slopes, mound areas, areas between curb and clearing limits, drainage swales and all disturbed areas outside of building and parking areas.
- At all times during the construction process, Contractor shall make every effort to control excessive dust and keep mud from being tracked onto existing streets adjoining the site.

Contractor shall also make every effort to control soil erosion. Cut-off swales shall be constructed along the top of like banks as shown to direct the storm water runoff to the proposed 'outfall' areas. This area is to be rip-rap a min. of 18 inches thick. Straw bale dams, sediment pits, silt fences, rip-rap and slotted barrel silt filters shall be installed concurrently with the installation of the storm drainage systems and the finish grading of surface drainage swales. These measures must be correctly installed per the Construction Plans prior to acceptance of the earthwork and storm sewer components by the Owner. See erosion control specifications and erosion details for additional information. See Soil Erosion Plan for additional information.

\*\* NO SUMP PUMPS ARE TO BE DISCHARGED TO REAR YARDS. PUMPS TO BE CONNECTED TO SSD LATERAL IN FRONT OF LOTS.

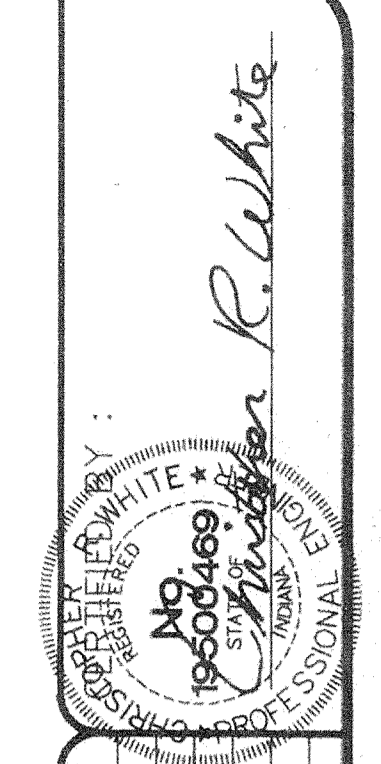
○ = SWALE GRADE AS-BUILT SPOT SHOT  
 ▼ = SSD STUB LOCATION

**DON'T DIG BLIND**  
 "HOLEY MOLEY"  
 CALL TOLL FREE  
 1-800-382-5544  
 1-800-428-5200  
 FOR CALLS OUTSIDE OF INDIANA

**CAUTION:**  
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including but not limited to, manholes, inlets, valves, & marks made upon the ground by others.) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

**NOTE:**  
 THIS PLAN IS 1" = 60' SCALE

**AS-BUILT INFORMATION**  
 A: REAR YARD & DRAINAGE SWALES MEET OR EXCEED MINIMUM SLOPE REQUIREMENTS AT THIS TIME, BASED ON INFORMATION GIVEN TO ME BY CONTRACTOR.  
 B: SUB-SURFACE DRAINS HAVE BEEN INSTALLED AND EXTENDED A MIN. OF 3' BEHIND CURB AND ALL LOTS HAVE SERVICE PROVIDED FOR, BASED ON INFORMATION GIVEN TO ME BY CONTRACTOR.  
 ALL THE ABOVE IS WITHIN R/W AND EASEMENT LIMITS OF PLAN.  
 CERTIFIED: *Christopher R. White* 4-22-97  
 CHRISTOPHER R. WHITE DATE: 6-20-98

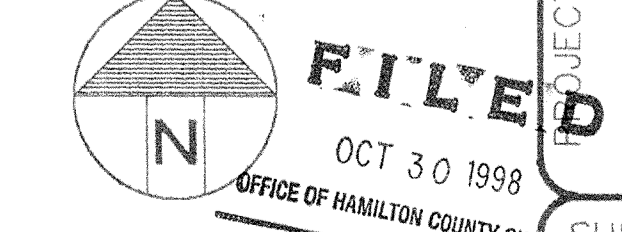


**REVISIONS**

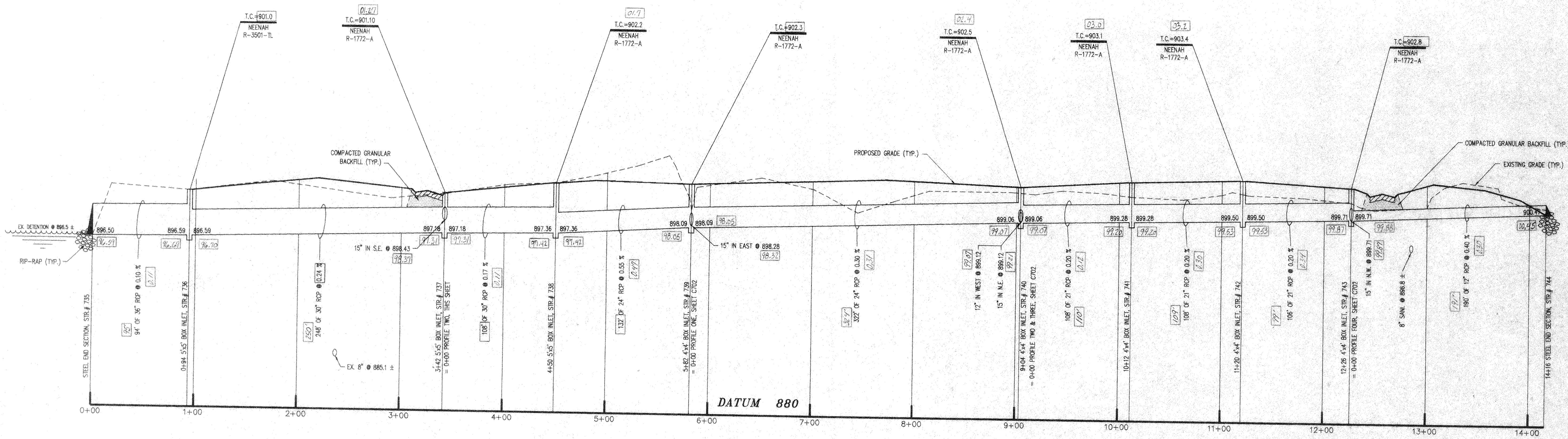
No.	BY	REV. DATE

**DAVIS HOMES, L.L.C.**  
 OFFICE 317-595-2900  
 INDIANAPOLIS, INDIANA 46240

PROJECT: SPRINGDALE FARMS SECTION TWO  
 TITLE: SSD & SWALE AS-BUILT PLAN  
 DRAWN BY: *RR*  
 DATE: 4/27/97  
 SCALE: 1" = 60'  
 SHEET: C201








**PROFILE ONE**

**STORM SEWER RECORD DRAWING**



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of this GIS.

Entry Date: 5-19-04

Entered by: JPH

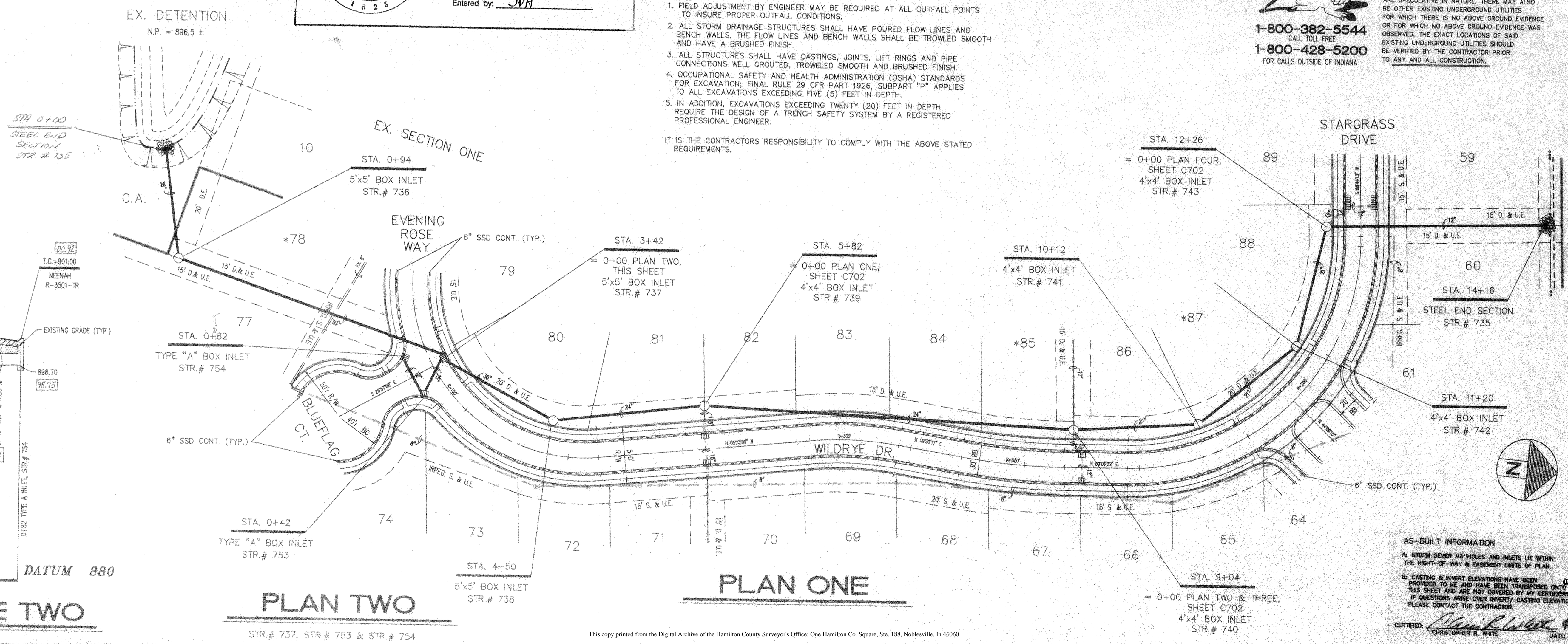
- NOTES:
- FIELD ADJUSTMENT BY ENGINEER MAY BE REQUIRED AT ALL OUTFALL POINTS TO INSURE PROPER OUTFALL CONDITIONS.
  - ALL STORM DRAINAGE STRUCTURES SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND HAVE A BRUSHED FINISH.
  - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSHED FINISH.
  - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATION; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
  - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE ABOVE STATED REQUIREMENTS.

**DON'T DIG BLIND**



**1-800-382-5544**  
CALL TOLL FREE  
**1-800-428-5200**  
FOR CALLS OUTSIDE OF INDIANA

**CAUTION:**  
LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE. (Including, but not limited to, manholes, light poles, & marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.



**PLAN ONE**

**PLAN TWO**

**PROFILE TWO**

**AS-BUILT INFORMATION**  
A: STORM SEWER MANHOLES AND INLETS LIE WITHIN THE RIGHT-OF-WAY & EASEMENT LIMITS OF PLAN.  
B: CASTING & INVERT ELEVATIONS HAVE BEEN PROVIDED TO ME AND HAVE BEEN TRANSMITTED ON THIS SHEET AND ARE NOT COVERED BY MY CERTIFICATION. IF QUESTIONS ARISE OVER INVERT/CASTING ELEVATIONS, PLEASE CONTACT THE CONTRACTOR.

**FILED**  
OCT 30 2004  
OFFICE OF HAMILTON COUNTY SURVEYOR

CERTIFIED: Christopher R. White 4-22-07  
DATE: \_\_\_\_\_  
CHRISTOPHER R. WHITE

**REVISIONS**

No.	BY	REV. DATE	DESCRIPTION

**DAVIS HOMES, I.L.C.**  
3755 EAST 82ND ST. SUITE 120  
INDIANAPOLIS, INDIANA 46240  
OFFICE 317-595-2800  
FAX 317-595-2830

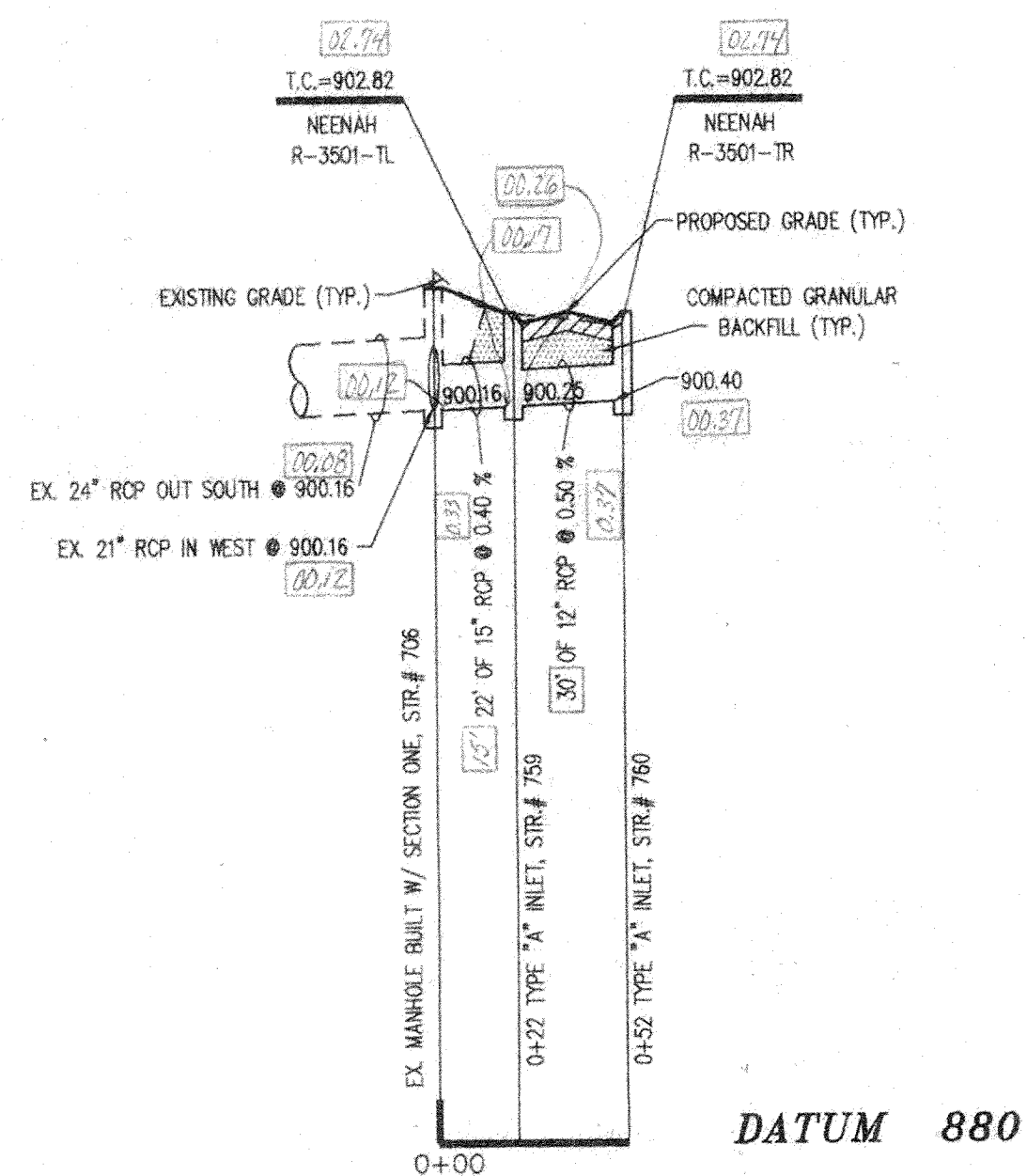
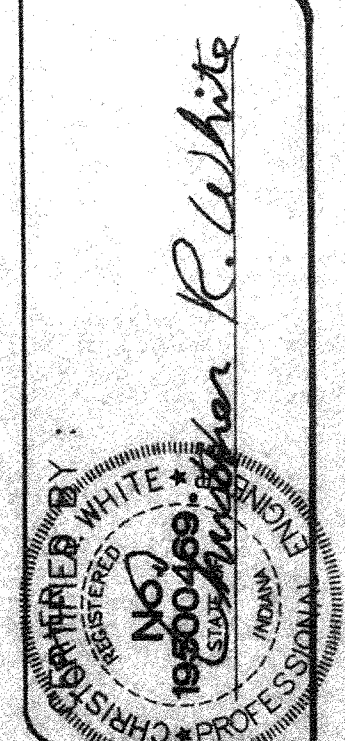
**SPRINGDALE FARMS SECTION TWO**  
STORM SEWER PLAN & PROFILE  
SCALE: VERT: 1"=5'  
HORIZ: 1"=50'

DATE: 05/03/06

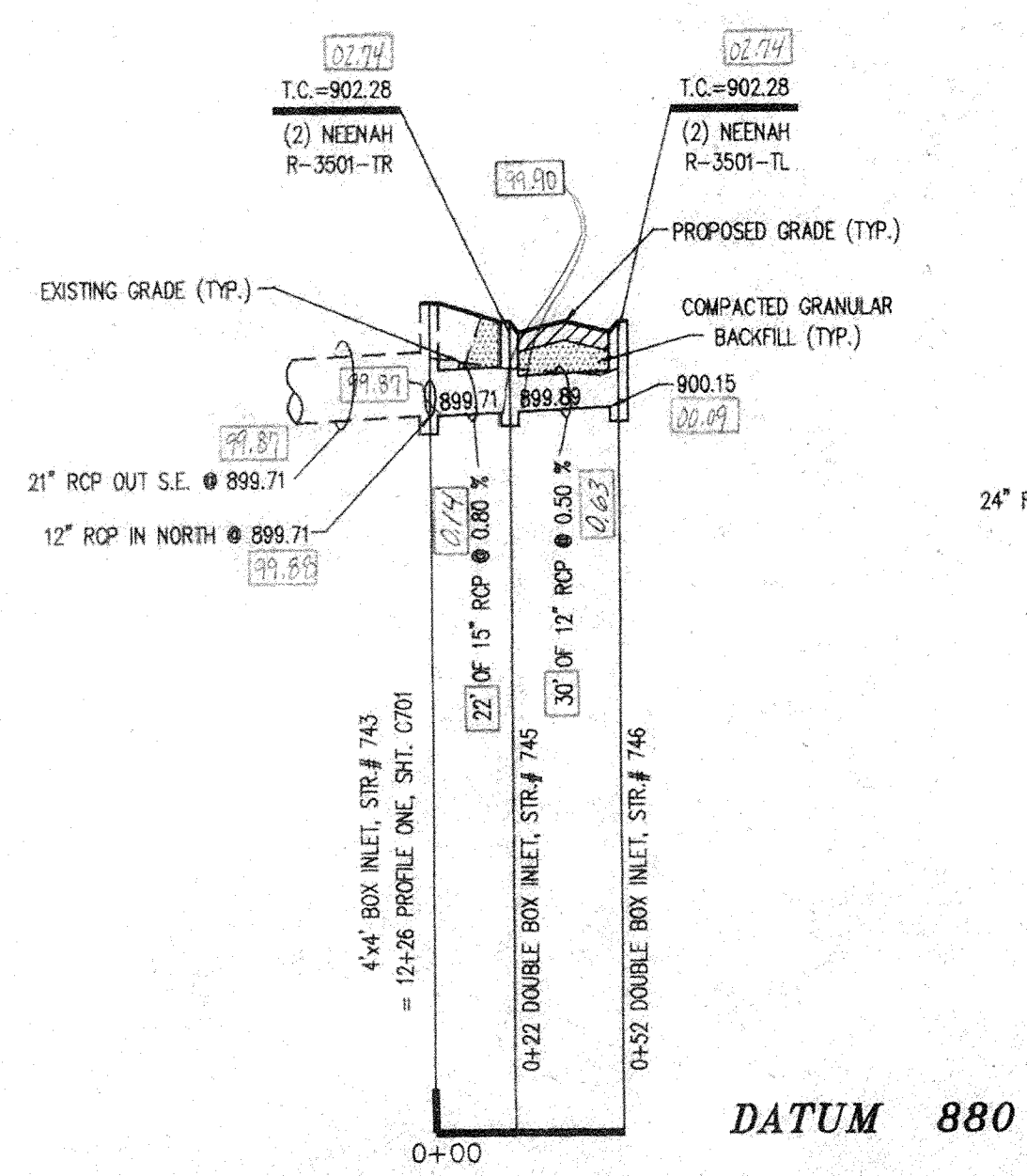
DRAWN BY: \_\_\_\_\_

SHEET: **C701**

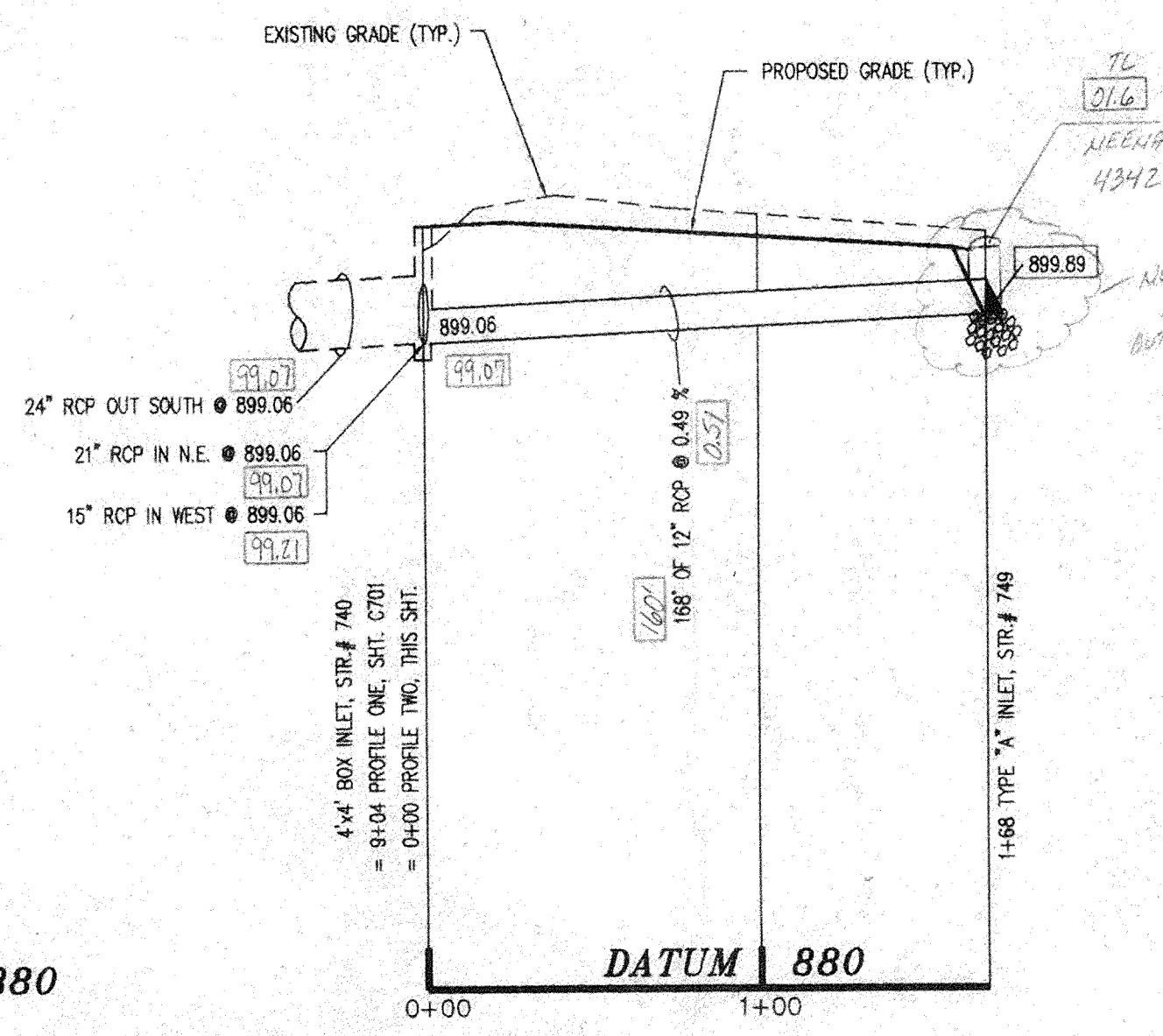




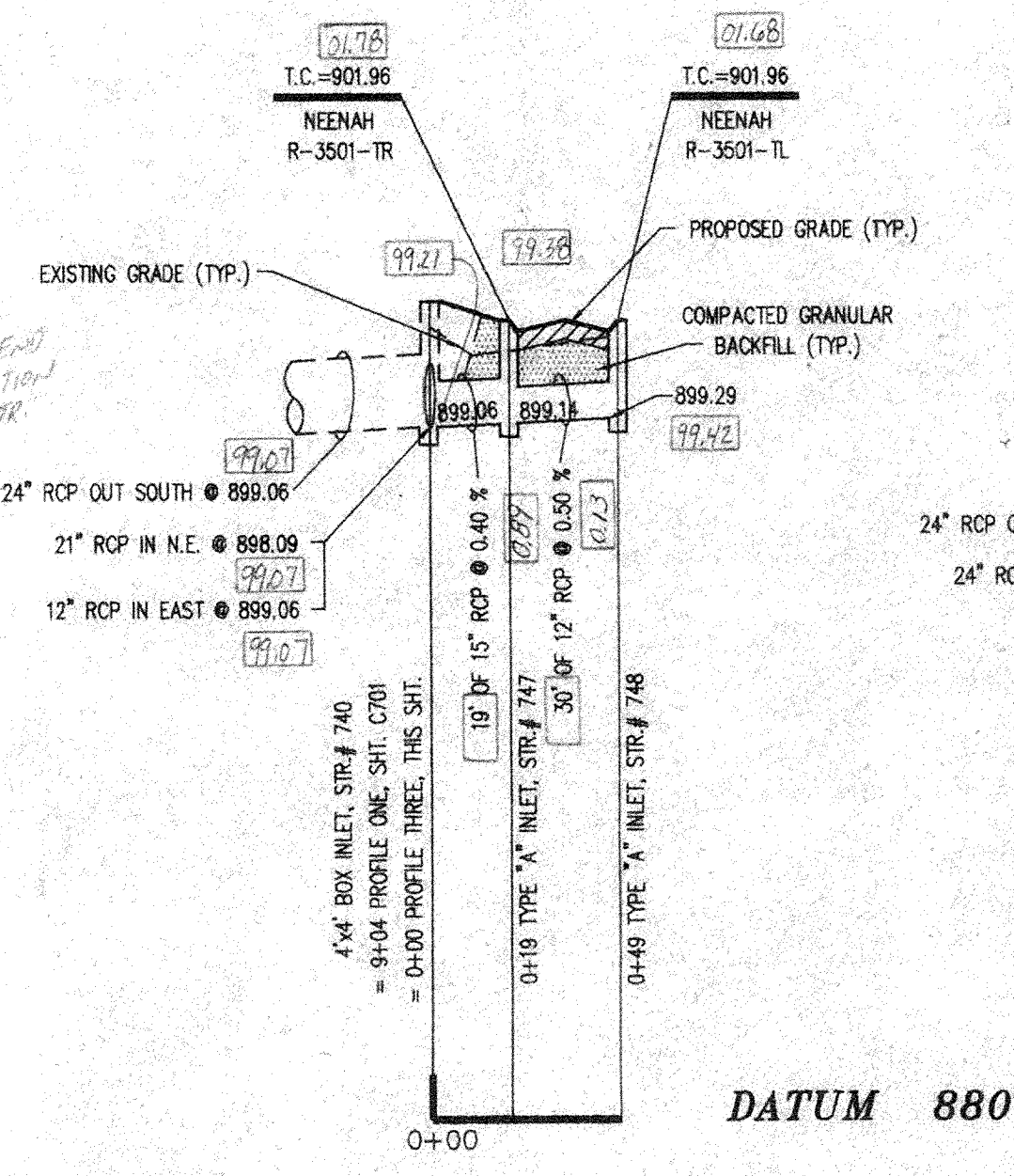
**PROFILE FIVE**



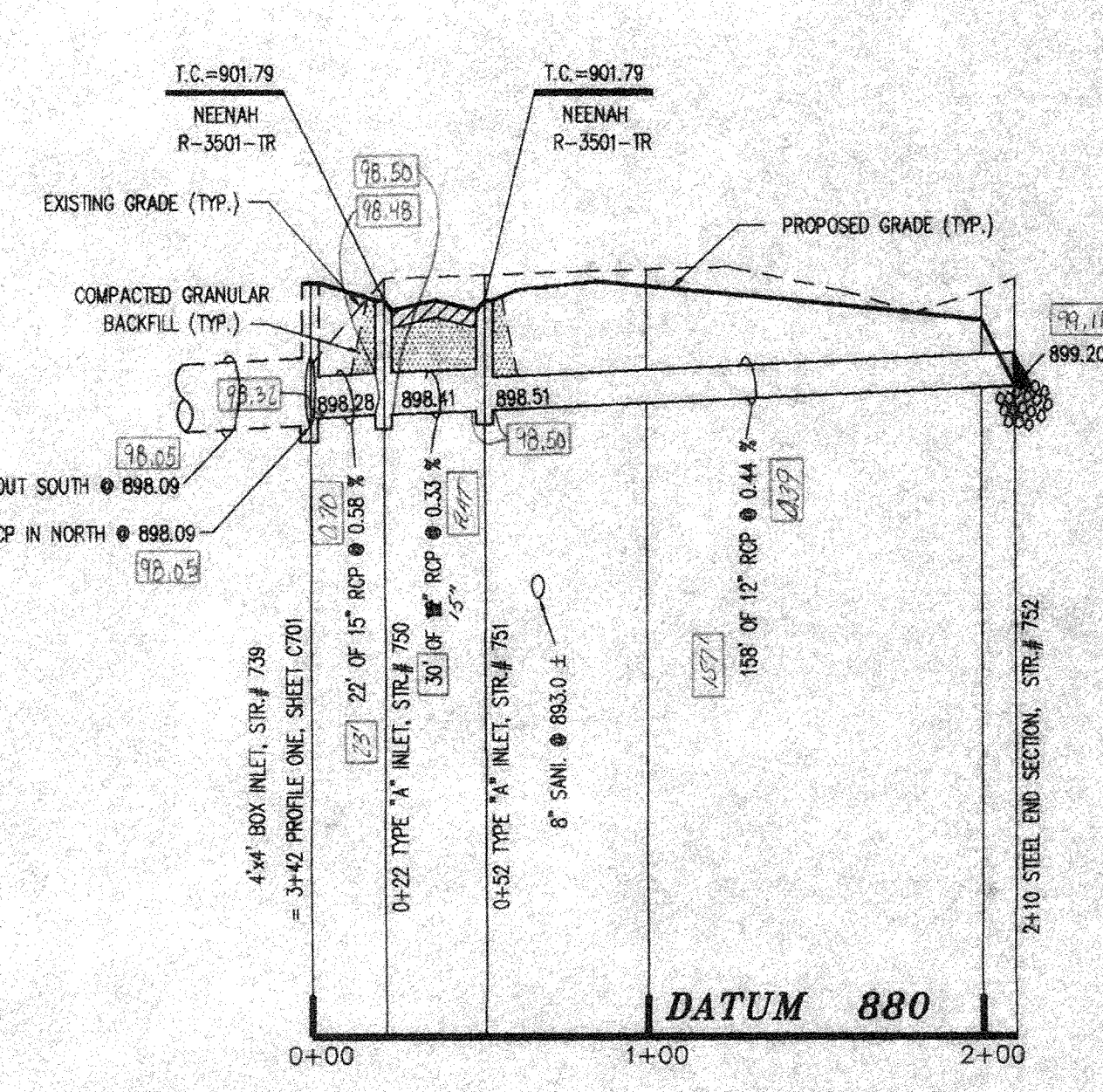
**PROFILE FOUR**



**PROFILE THREE**



**PROFILE TWO**



**PROFILE ONE**

**STORM SEWER RECORD DRAWING**

NOTES :

1. FIELD ADJUSTMENT BY ENGINEER MAY BE REQUIRED AT ALL OUTFALL POINTS TO INSURE PROPER OUTFALL CONDITIONS.
2. ALL STORM DRAINAGE STRUCTURES SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND HAVE A BRUSHED FINISH.
3. ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSHED FINISH.
4. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATION; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
5. IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.

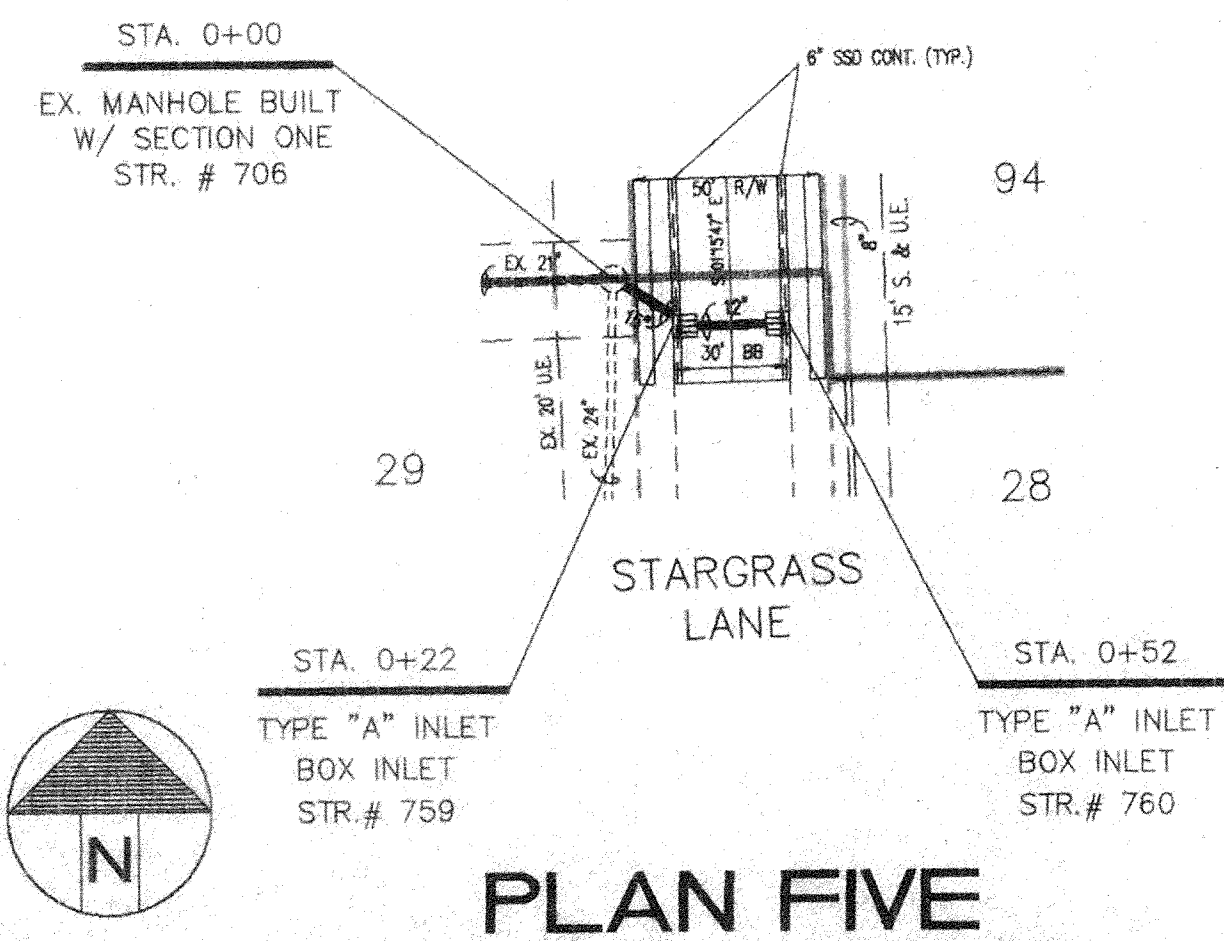
IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE ABOVE STATED REQUIREMENTS.

Hamilton County Indiana  
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 Entry Date: 5-20-04  
 Entered by: JPH

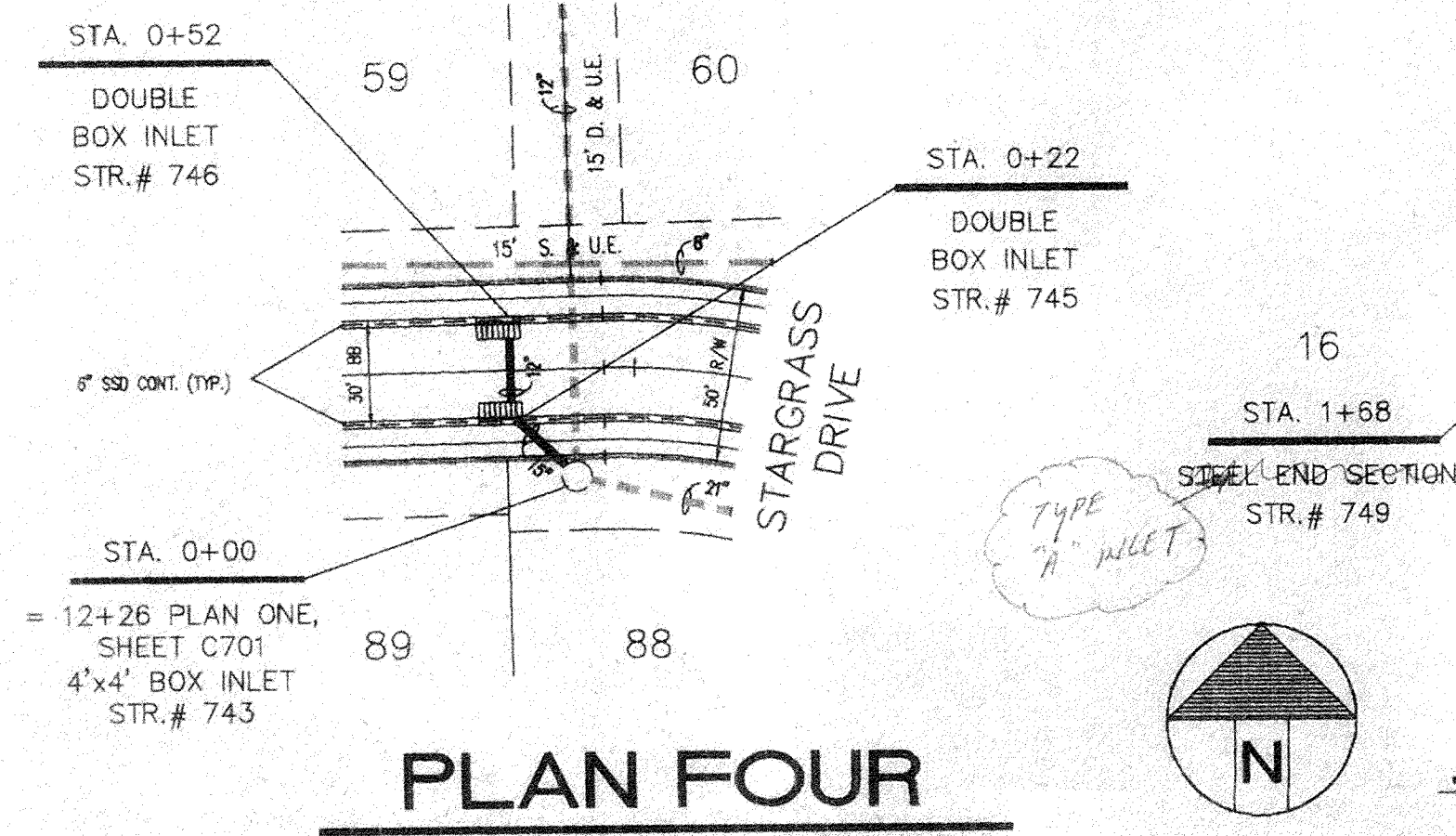
**DON'T DIG BLIND**  
 "TOILEY MILEY" SEZ.  
 1-800-382-5544  
 CALL TOLL FREE  
 1-800-428-5200  
 FOR CALLS OUTSIDE OF INDIANA

**CAUTION:**  
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE. (including, but not limited to, manholes, inlets, valves, & marks made upon the ground by others.) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

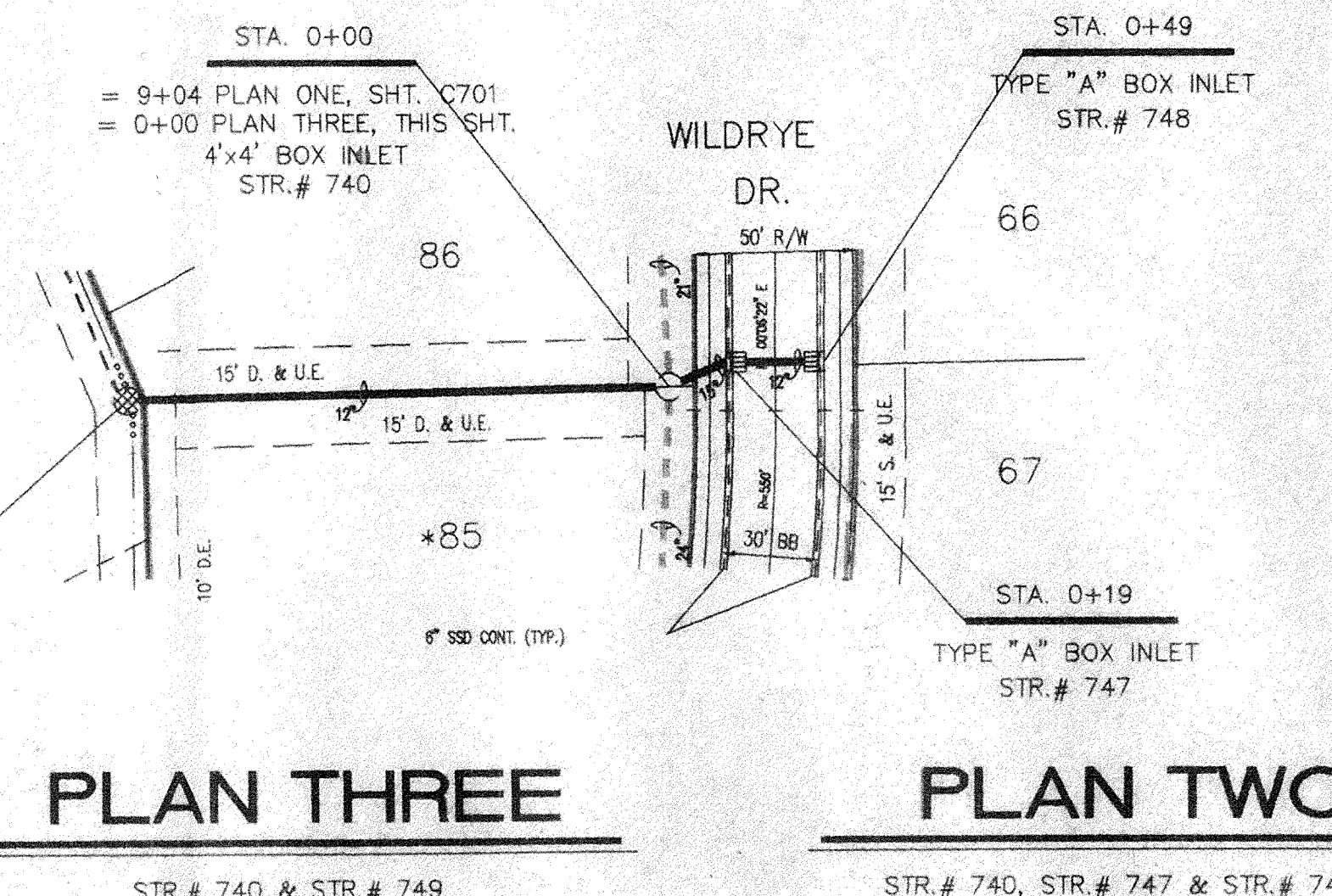
**AS-BUILT INFORMATION**  
 A: STORM SEWER MANHOLES AND INLETS USE WITHIN THE RIGHT-OF-WAY & EASEMENT LIMITS OF PLAN.  
 B: CASTING & INVERT ELEVATIONS HAVE BEEN PROVIDED TO ME AND HAVE BEEN TRANSPORTED ONTO THIS SHEET AND ARE NOT COVERED BY MY CERTIFICATION. IF QUESTIONS ARISE OVER INVERT/CASTING ELEVATIONS, PLEASE CONTACT THE CONTRACTOR.  
 CERTIFIED: Christopher R. White, 4-22-04  
 DATE: \_\_\_\_\_



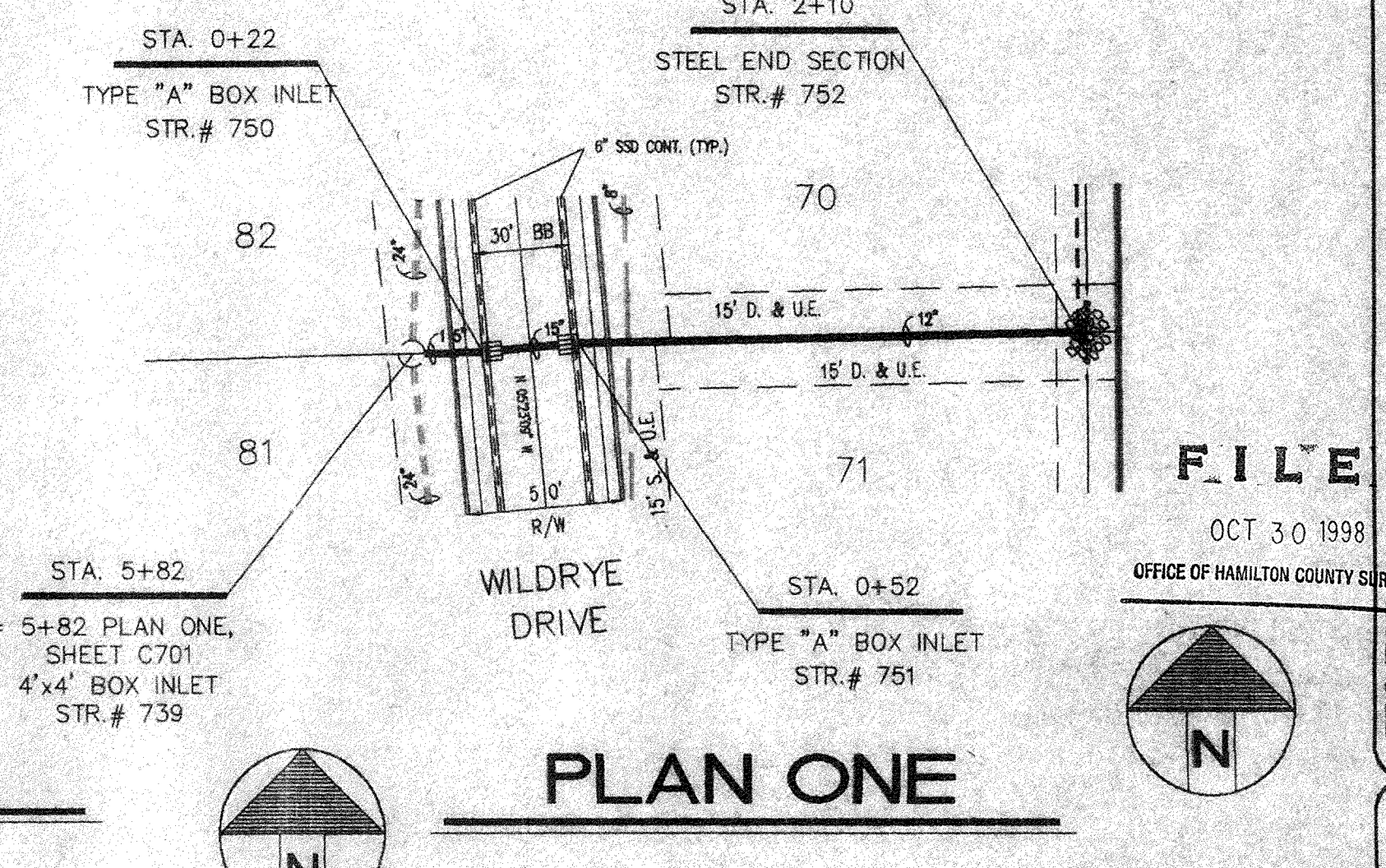
**PLAN FIVE**



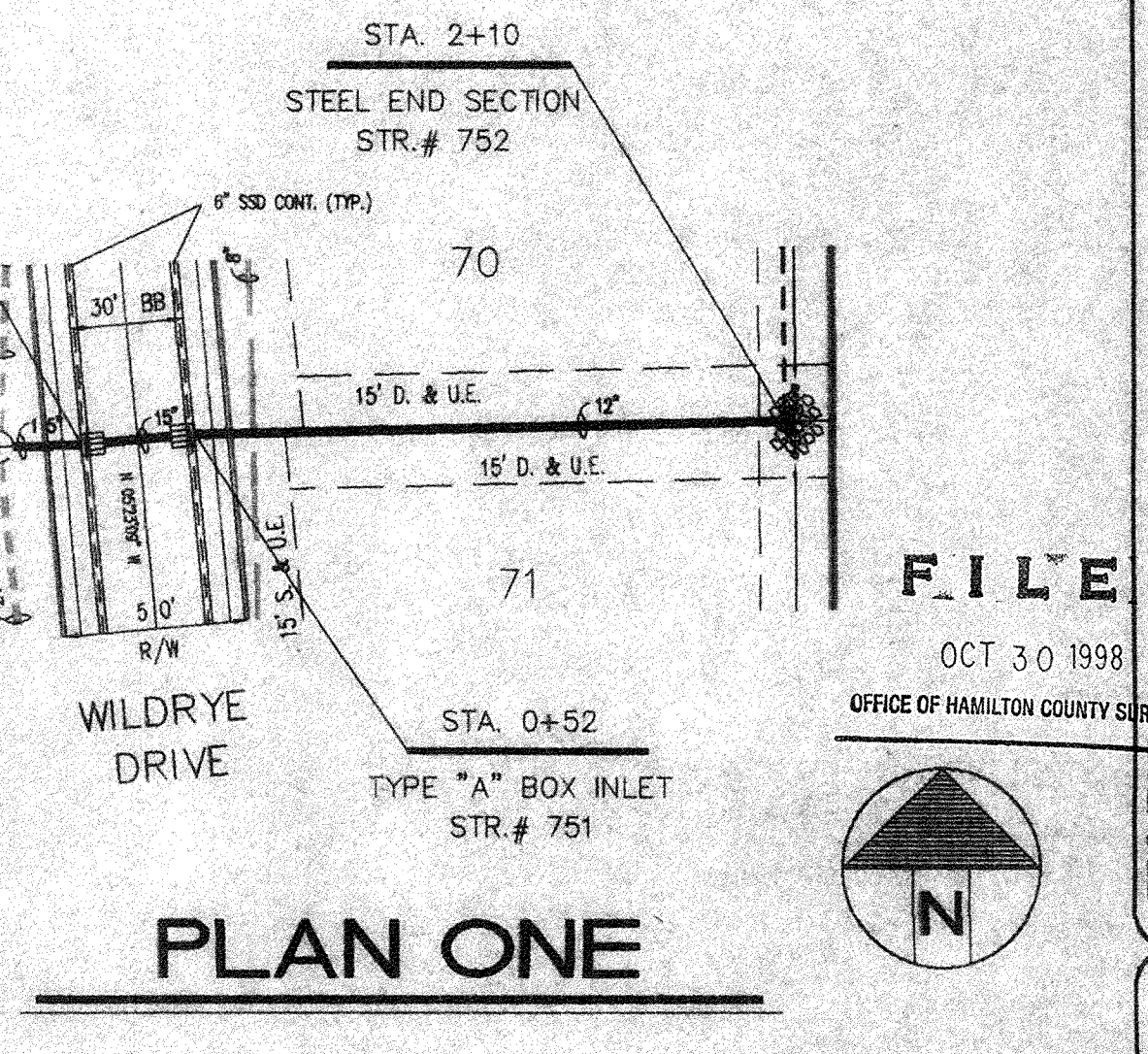
**PLAN FOUR**



**PLAN THREE**



**PLAN TWO**



**PLAN ONE**

REVISIONS

NO.	REV. DATE	REVISED PROFILE THREE, FIVE & PROPOSED GRADE
1	05/20/04	AS-BUILT

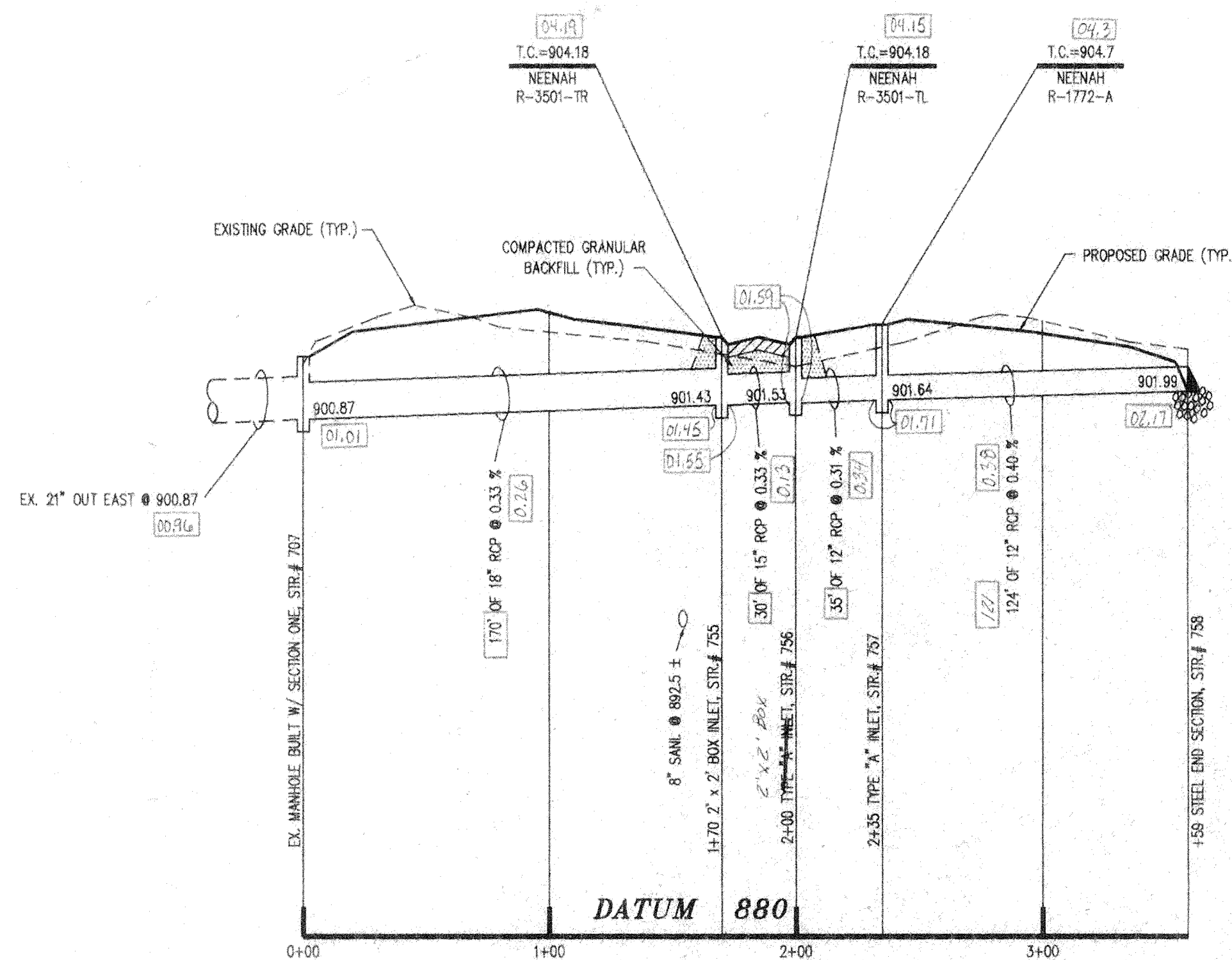
BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PROJECT: SPRINGDALE FARMS SECTION TWO  
 TITLE: STORM SEWER PLAN & PROFILE  
 DRAWN BY: JPH  
 DATE: 05/03/06  
 SCALE: VERT: 1"=5'  
 HORIZ: 1"=50'

**DAVIS HOMES, L.L.C.**  
 3755 EAST 82nd ST. SUITE 120  
 INDIANAPOLIS, INDIANA 46240  
 OFFICE 317-595-2900  
 FAX 317-595-2930

**FILE**  
 OCT 30 1998  
 OFFICE OF HAMILTON COUNTY SURVEYOR





**PROFILE ONE**

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**STORM SEWER RECORD DRAWING**

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Entry Date: 5-20-04

Entered by: JOH

**AS-BUILT INFORMATION**

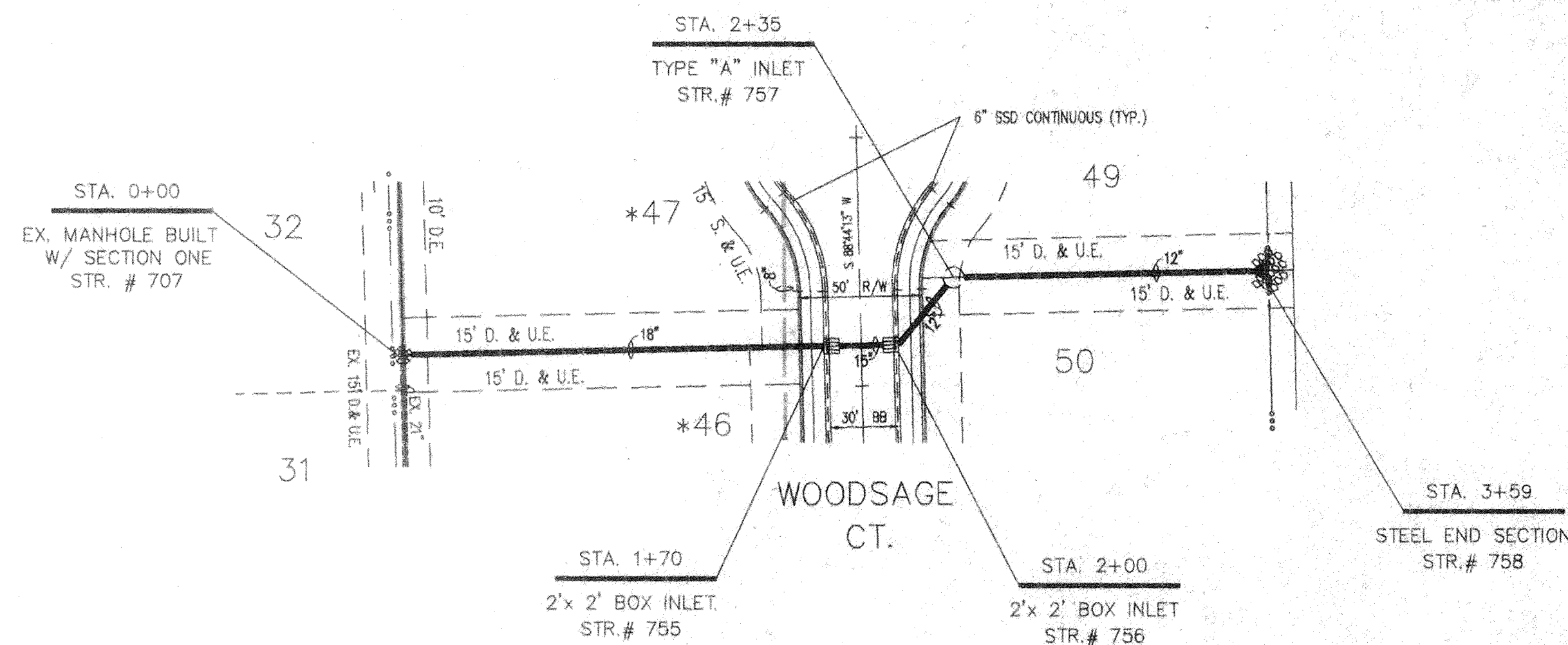
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CERTIFIED: Christopher R. White 4-22-97  
CHRISTOPHER R. WHITE DATE:

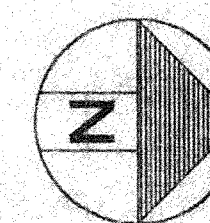
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**PLAN ONE**



**FILED**  
 OCT 30 1998  
 OFFICE OF HAMILTON COUNTY SURVEYOR

**REVISIONS**

No.	BY	REV. DATE
1		4/15/97

**DAVIS HOMES, L.L.C.**  
 OFFICE 317-585-2900  
 FAX 317-585-2930

**DAVIS HOMES, L.L.C.**  
 3755 EAST 82nd ST. SUITE 120  
 INDIANAPOLIS, INDIANA 46240

PROJECT : **SPRINGDALE FARMS SECTION TWO**  
 TITLE : **STORM SEWER PLAN & PROFILE**  
 DRAWN BY : [Signature] DATE: 05/03/96  
 SCALE: VERT: 1"=5'  
 HORZ: 1"=50'

SHEET :  
**C703**

CERTIFIED BY:  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 19200  
 Christopher R. White





SURVEYOR'S OFFICE  
**Hamilton County**

Kenton C. Ward, CFM  
Surveyor of Hamilton County

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square

Noblesville, Indiana 46060-2230

**Map Correction-Field Verification**

Drain Number: 268

Drain Length: 7192'

Drain Name: Springmill Villages - Springdale Farms Sec. 2

Change +/- : 8'

Date: 08-31-2010

New Length: 7200'

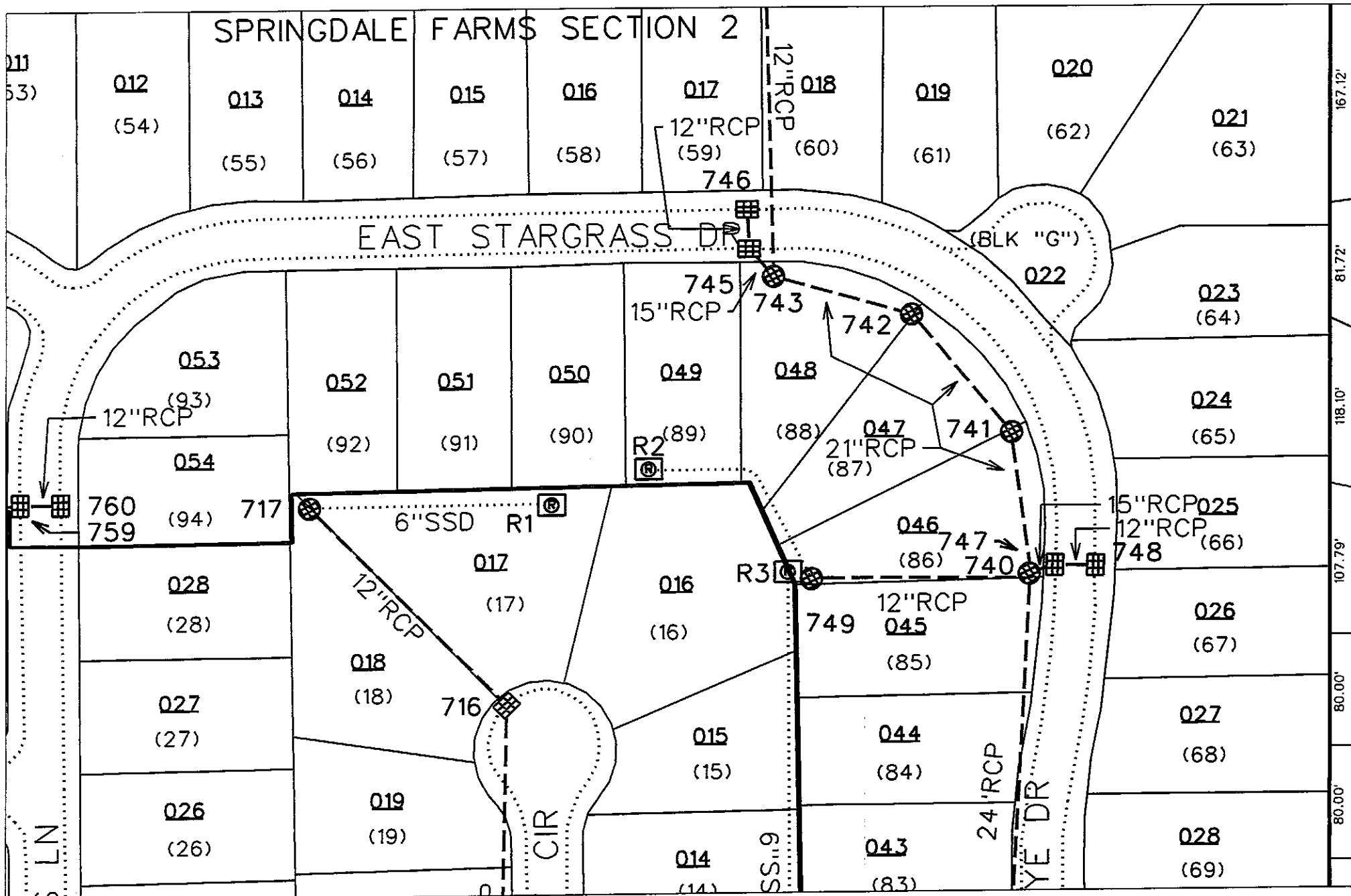
Verified By: SAB, SLM

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**Notes & Sketch:**

The SSD along the Rear of Lots 89, 88, 87, 86 of Springdale Farms Section 2 was incorrectly mapped. It should be noted that the SSD along the rear of lot 16 of Springdale Farms Section 1 was abandoned but was t'd into the line installed with section 2 mentioned above. The SSD mapped along the south line of lot 46 between structures 749 to 740 was an error. No SSD was ever installed there.

Suzanne L. Mills  
GIS Specialist



sub\_rg\_drm.dgn 8/31/2010 11:48:54 AM